

**PROJECT DATA :**

**OWNER / DEVELOPER :**  
JUB SILVERHAWK L.P. 4 TOR INVESTMENTS L.P. c/o HAMANN COMPANIES  
1000 PIONEER WAY  
EL CAJON, CA 92020  
ATTN: GREGG HAMANN  
(619) 440-1424

**APPLICANT :**

HAMANN COMPANIES  
1000 PIONEER WAY  
EL CAJON, CA 92020  
ATTN: PAUL GIESE, RA  
(619) 440-1424

**PROPERTY :**

ADDRESS: 9KY CANYON DRIVE  
MURRIETA, CA  
APN: 951-330-054  
LEGAL: PARCEL B OF LOT LINE ADJUSTMENT NO. 9124  
PORTION PARCEL 4 OF PARCEL MAP NO. 32348-1 RECORDED IN  
THE COUNTY OF RIVERSIDE DECEMBER 19, 1990

LAND AREA: 492,228 SF 11.30 ACRES GROSS  
429,260 SF 9.85 ACRES NET PAD

EXISTING ZONE: SPECIFIC PLAN 213 PLANNING AREA 2  
COUNTY OF RIVERSIDE - TEMECULA SPHERE OF INFLUENCE  
IF ZONE REGULATIONS

**BUILDING AREA :**

BLDG. A	98,500 SF
BLDG. B	64,793 SF
TOTAL	163,293 SF

PROPOSED USE: 25% OFFICE 40,823 SF  
15% WAREHOUSE 12,470 SF

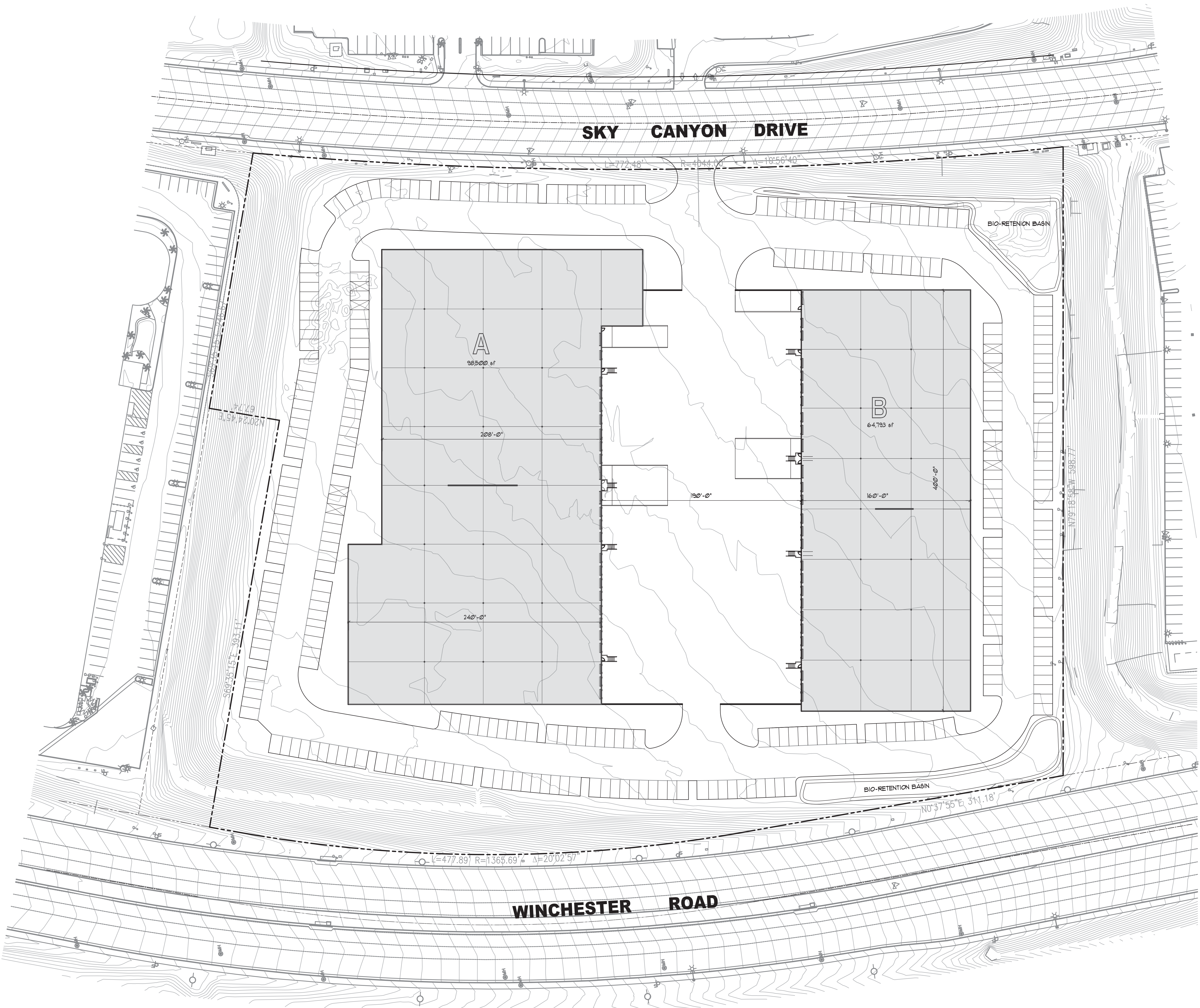
**DATA :**

COVERAGE: 33.2% OF GROSS LAND AREA  
38.1% OF NET PAD AREA

PARKING REQUIRED: OFFICE 40,823 SF @ 1.0 SP / 250 = 163 SP  
WAREHOUSE 12,470 SF @ 1.0 SP / 1000 = 12 SP  
TOTAL SPACES REQUIRED 283

PARKING PROVIDED: 8 HANDICAPP SPACES  
301 FULL SIZE  
309 TOTAL SPACES

PARKING RATIO 1.09 SP / 1000 SF



**SITE PLAN**

SCALE: 1" = 40'-0"

