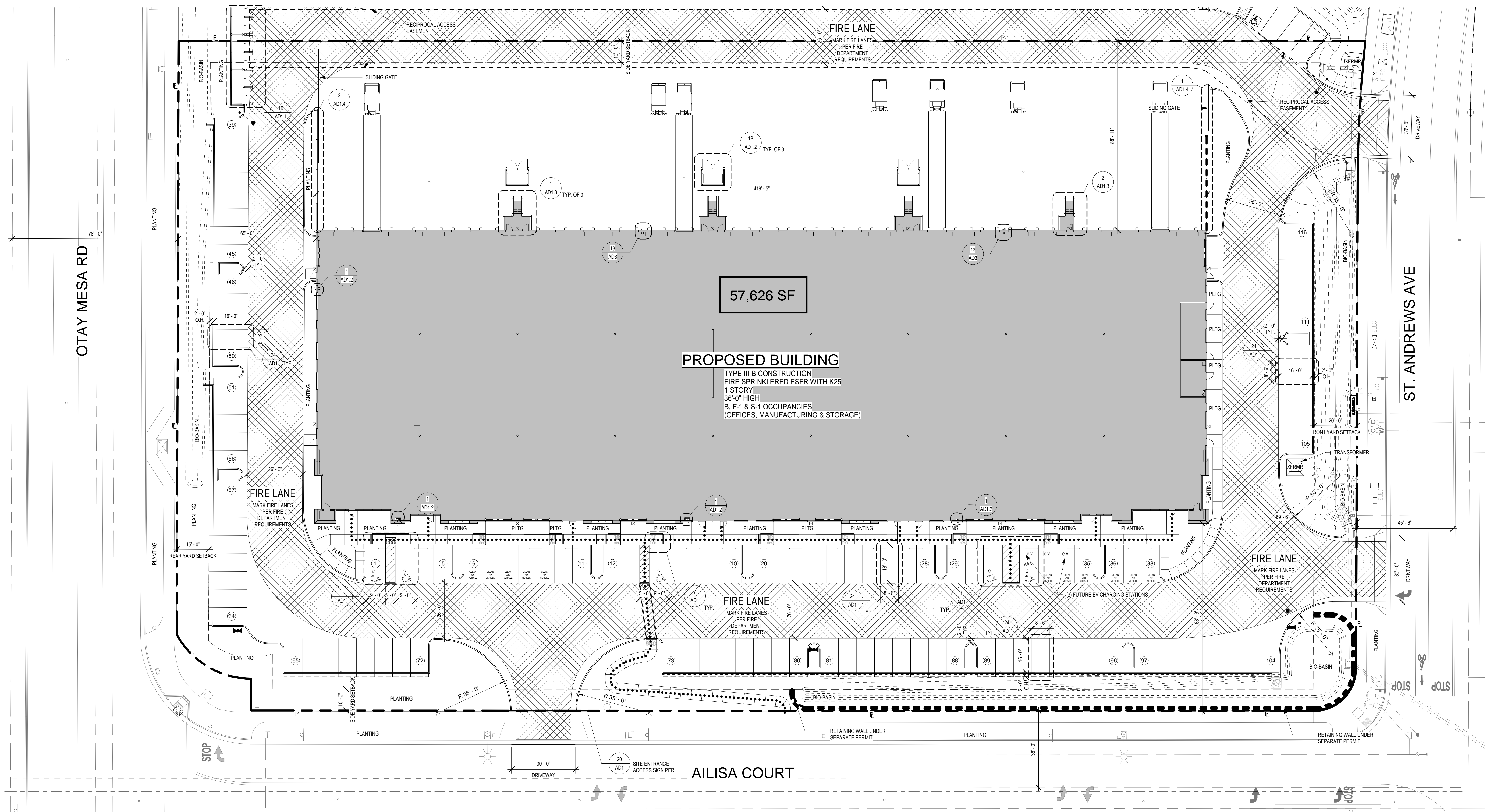


| Revision Schedule | |
|-------------------|-------------|
| # | Description |
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| | |

DATE: 8/21/18
JOB NO: 18007
DRAWN BY: Author
CHECKED BY: Checker

| Revision Schedule | | |
|-------------------|------|-------------|
| # | Date | Description |
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Project: SHELL BUILDING FOR
LOT 1 SHELL
ST. ANDREWS AVE
A1.1



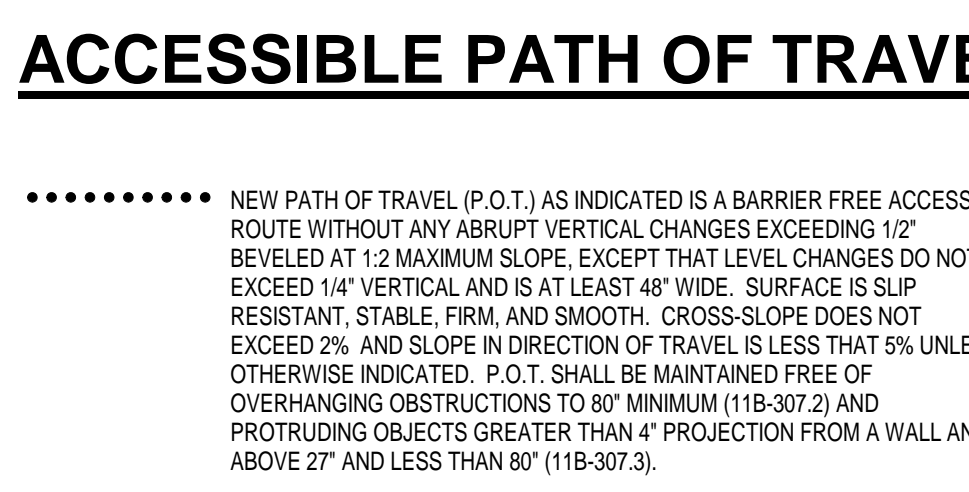
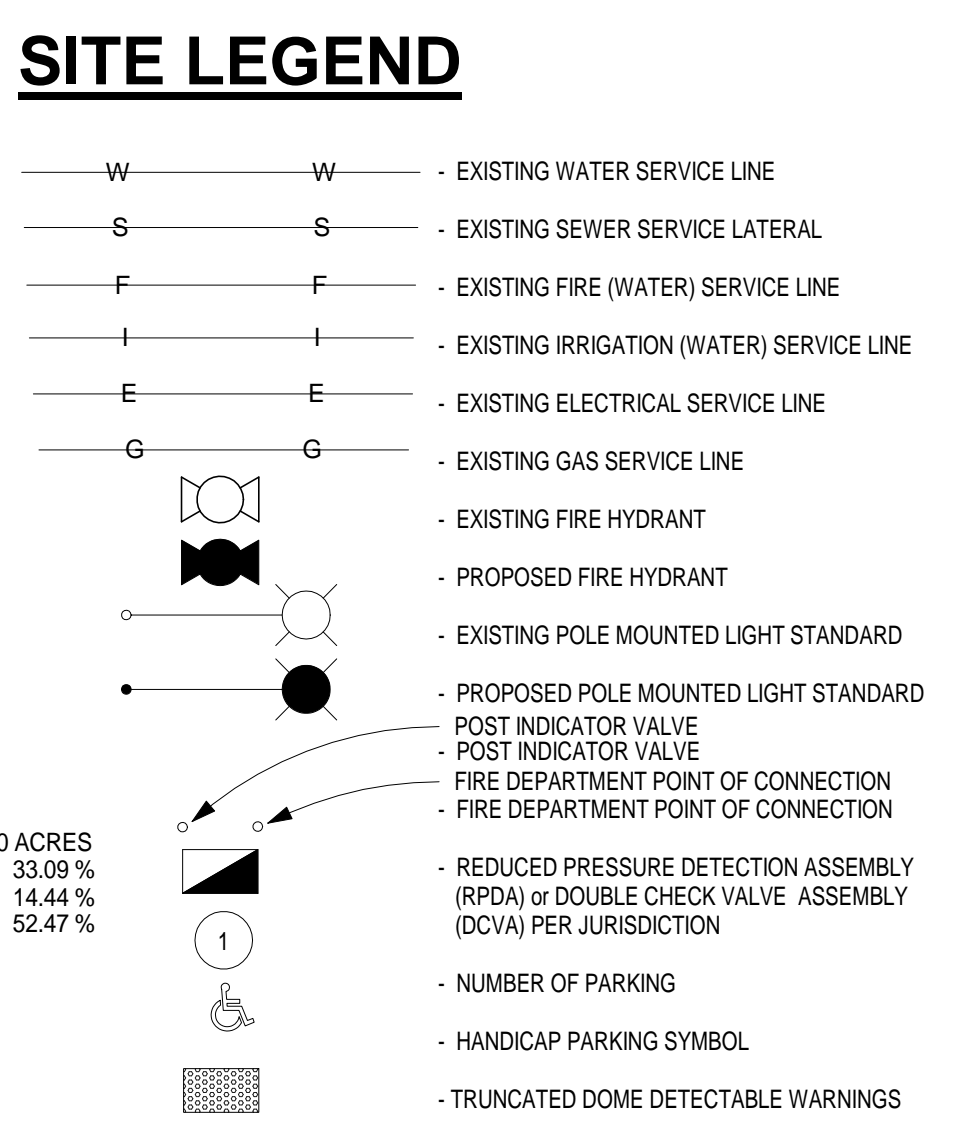
- ### NOTES
- YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
 - THIS PROJECT SHALL COMPLY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), THE 2016 CALIFORNIA ELECTRICAL CODE (CEC), THE 2013 CALIFORNIA MECHANICAL CODE (CMC), THE 2016 CALIFORNIA PLUMBING CODE (CPC), THE 2016 CALIFORNIA FIRE CODE (CFC), IN ADDITION TO ALL THEIR RESPECTIVE 2013 CALIFORNIA AMENDMENTS, AND THE CURRENT EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.
 - NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED IN THIS BUILDING IN EXCESS OF THE QUANTITIES LISTED IN CBC TABLES 307.1 (1) AND 307.1 (2).
 - ALL PROPERTY LINES, EASEMENTS, STREET AND EXISTING AND PROPOSED STRUCTURES ARE SHOWN ON THIS SITE PLAN.
 - A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
 - FIRE HYDRANTS ARE TO COMPLY WITH THE CITY'S ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON-SITE FIRE HYDRANTS.
 - ALL CURBING WHICH OUTLINES THE ACCESS ROADWAY SHALL BE PAINTED RED. WHITE, 4" HIGH LETTERING READING "NO PARKING - FIRE LANE" SHALL BE STENCILED EVERY 30'-0" ON THE RED CURB. IF NO CURB IS PRESENT, AN 8" WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THIS 8" STRIPE SHALL BE MARKED WITH 4" HIGH WHITE LETTERING EXACTLY AS IF IT WERE A CURB.
 - BACKFLOW PROTECTION OF WATER CONNECTION TO FIRE PROTECTION SYSTEMS SHALL BE PROVIDED PER UPC, SECT. 603.5.15.
 - CONC. WALKWAYS SHALL BE INSTALLED PER 15 AD1.

PARKING TABULATION

| | | |
|---|---|----------------------------|
| REQUIRED PARKING: | | |
| OFFICE S.F. / 1 SPACE PER 400 S.F. | = | # OF OFFICE SPACES |
| MANUFACTURING S.F. / 1 SPACE PER 400 S.F. | = | # OF MANUFACTURING SPACES |
| WAREHOUSE S.F. / 1 SPACE PER 1000 S.F. | = | # OF WAREHOUSE SPACES |
| 14406 S.F. / 1 SPACE PER 400 S.F. | = | 36.02 OFFICE SPACES |
| 24510 S.F. / 1 SPACE PER 400 S.F. | = | 61.28 MANUFACTURING SPACES |
| 18710 S.F. / 1 SPACE PER 1000 S.F. | = | 18.71 WAREHOUSE SPACES |
| TOTAL PARKING SPACES REQUIRED | = | 116 SPACES |
| PARKING PROVIDED: | | |
| 100 STANDARD SPACES PROVIDED | | |
| 0 COMPACT SPACES PROVIDED | | |
| 1 VAN ACCESSIBLE SPACES PROVIDED | | |
| 4 ACCESSIBLE SPACES PROVIDED | | |
| 11 CLEAN AIR VEHICLE SPACES PROVIDED (8% OF AUTO SPACES MIN.) | | |
| 3 FUTURE E.V. CHARGING STATIONS | | |
| 116 TOTAL AUTOMOBILE SPACES PROVIDED | | |
| 2 SHORT TERM BICYCLE SPACES w/ PERMANENTLY ANCHORED RACKS (5% OF VISITOR AUTO SPACES MIN.) | | |
| 5 LONG TERM BICYCLE SPACE IN LOCKABLE, PERMANENTLY ANCHORED LOCKER (5% OF TENANT/EMPLOYEE AUTO SPACES MIN.) | | |
| SHELL INDUSTRIAL BUILDING, ASSUMED 80% OF PARKING SPACES TO BE EMPLOYEE & 20% TO BE VISITOR | | |

SITE INFORMATION

| | | |
|-----------------------------|------------|------------|
| SITE AREA: | 174,158 SF | 4.00 ACRES |
| PROPOSED BUILDING COVERAGE: | 57,626 SF | 33.09 % |
| PROPOSED LANDSCAPE AREA: | 25,151 SF | 14.44 % |
| PROPOSED PAVING AREA: | 91,381 SF | 52.47 % |
| TYPE OF DEVELOPMENT: | INDUSTRIAL | |



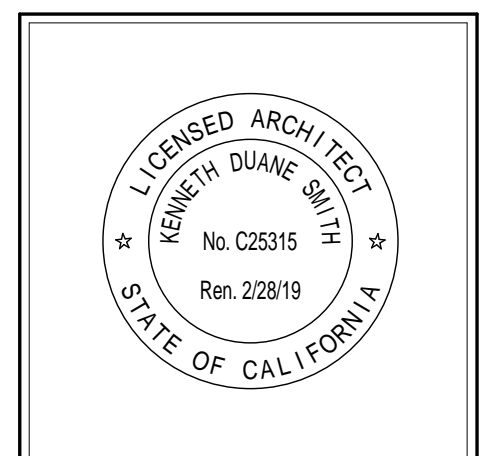
LEGAL DESCRIPTION OWNER

| | |
|---|---|
| LOT 1 ST. ANDREWS OTAY MESA CENTER MAP 16171 CITY OF SAN DIEGO, CALIFORNIA | JC HAMANN FAMILY TRUST JUB SILVERHAWK 1000 PIONEER WAY EL CAJON, CA 92020 TEL: 619 444 7424 Email: GREG@HAMANNCO.COM CONTACT: GREG HAMANN |
| APN: 646-280-14-00 | |
| ADDRESS: ST. ANDREWS AVE. | |
| USE: INDUSTRIAL | |
| ZONE: IL-3-I LIGHT INDUSTRIAL | |

SQUARE FOOTAGE

| Name | Area |
|---------------------------------|-----------|
| SHELL - MANUFACTURING & STORAGE | 53,848 SF |
| SHELL - OFFICE | 3,779 SF |
| 01 FIRST FLOOR | 57,626 SF |
| Grand total | 57,626 SF |





DATE: 8/21/18
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project: SHELL BUILDING FOR
LOT 1 SHELL
ST. ANDREWS AVE

project: SHELL BUILDING FOR

A2.1

WALL LEGEND

- CONCRETE TILT-UP PANELS w/ 1/2" PANEL GAPS
- 4" NOM. STUD WALL (3/8" METAL or 2x4 WOOD)
SEE NOTES BELOW
- 4" NOM. STUD WALL w/ R-13 INSULATION BATTS
- 1-HOUR 4" NOM. STUD WALL (3/8" METAL or 2x4 WOOD)
SEE NOTES BELOW
- 6" NOM. STUD WALL (3/8" METAL or 2x6 WOOD)
SEE NOTES BELOW
- 6" NOM. STUD WALL w/ R-19 INSULATION BATTS
- 1-HOUR 6" NOM. STUD WALL (3/8" METAL or 2x6 WOOD)
SEE NOTES BELOW
- 8" NOM. STUD WALL (3/8" METAL or 2x8 WOOD)
SEE NOTES BELOW
- 8" NOM. STUD WALL w/ R-19 INSULATION BATTS

NOTES:

- ALL NON STRUCTURAL WALLS SHALL BE METAL STUDS PER DETAILS REFERENCED, U.N.O. DIMENSIONS ARE TO FACE OF STUD, U.O.B.
- SEE STRUCTURAL FOUNDATION PLAN FOR LOCATIONS OF ANY STRUCTURAL WALLS.
- IF THE ALLOWABLE WALL HEIGHT TABLE REQUIRES A LARGER STUD SECTION, THE TABLE SHALL GOVERN.
- FOR STANDARD HEADER FRAMING, SEE DETAIL 1 AD5.1
- FOR WALL PENETRATIONS AT RATED WALLS (WHERE OCCURS), SEE DETAIL 13 AD4
- THE CLEAR FLOOR SPACE AT FIXTURES AND CONTROLS, THE ACCESSIBLE ROUTE AND THE TURNING SPACE MAY OVERLAP. FOR ACCESSIBLE REACH RANGES, SEE DETAIL 8 AD7
- (000) DOOR, SEE DOOR SCHEDULE A8.1
- (X) WINDOW, SEE WINDOW SCHEDULE A8.1

NOTES

- SIGNS AND IDENTIFICATION**
THE SIGNAGE REQUIREMENTS OF SECTION 11B-703 WILL BE SATISFIED.
- AUTOMATIC SPRINKLER SYSTEMS**
AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE, OR SHALL BE PROVIDED WITH A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION (CBC, SECTION 903.4).
- INSULATION NOTES (ALSO SEE BUILDING SECTIONS)**

1. BATT INSULATION SHALL BE FORMALDEHYDE-FREE BY JOHNS MANVILLE OR EQUAL.
2. PROVIDE INSULATION IN THE FOLLOWING WALLS:
 - a. INTERIOR STUD WALLS BETWEEN CONDITIONED / UNCONDITIONED SPACES.
 - b. ALL PERIMETER WALLS OF RESTROOM.
 - c. ALL PERIMETER WALLS OF ELEVATOR SHAFT. (IF APPLICABLE)
 - d. ALL PERIMETER WALLS OF ELEVATOR EQUIPMENT ROOM. (IF APPLICABLE)
 - e. USE R-13 RATED BATTS AT 4" WALLS.
 - f. USE R-19 RATED BATTS AT 6" WALLS.
3. INSTALL INSULATION ABOVE RESTROOM CEILING AT OFFICE AREA CONDITIONS.
4. CEILING/ROOF SPACES SHALL RECEIVE R-19 RATED BATTS.
5. INSTALL R-19 RATED INSULATION PER INSULATION LOCATION CHART. INSULATION IS NOT REQUIRED AT THE FLOOR IN A 2-STORY OFFICE AREA. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER SECTION 11B ENERGY EFFICIENCY STANDARDS.

VAPOR BARRIER NOTE

PROVIDE "STEGO-WRAP" VAPOR BARRIER IN AREAS WHERE MOISTURE-SENSITIVE FLOOR COVERINGS ARE PLANNED (U.O.B. IN THESE PLANS).

SIGNAGE KEYNOTES:

- 01 ACCESSIBILITY ENTRY SIGN. SEE DETAIL 10 AD6
 - 02 ACCESSIBLE EXIT SIGN. SEE DETAIL 14 AD6
 - 03 ACCESSIBLE STAIR SIGN. SEE DETAIL 16 AD6
 - 04 ACCESSIBLE RESTROOM ID SIGN. SEE DETAIL 11 AD6
 - 05 ACCESSIBLE RESTROOM DOOR SIGN. SEE DETAIL 15 AD6
 - 06 RECESSED KNOX BOX. LOCATION SHALL BE DETERMINED BY THE FIRE MARSHAL
 - 07 FLOOR DESIGNATION SIGN. SEE DETAIL 17 AD6
 - 08 NOT AN ACCESSIBLE EXIT SIGN. SEE DETAIL 14D AD6
 - 09 ACCESSIBLE ROOM ID SIGN PER FINISH SCHEDULE. SEE DETAIL (VERIFY ROOM NAMES w/ OWNER)
 - 10 ACCESSIBLE EXIT ROUTE SIGN. SEE DETAIL 14B AD6
- SEE ACCESSIBLE MOUNTING HEIGHTS 12 AD6

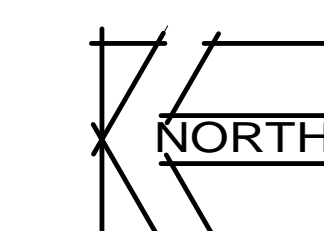
SEE ENLARGED PLAN VIEWS FOR ADDITIONAL SIGNAGE LOCATIONS

WALL NOTE:

SEE THE REFLECTED CEILING PLAN FOR ALL REFERENCES TO WALL SECTIONS

EXIT SIGNS:

SEE EXIT PLAN FOR LOCATION OF EXIT SIGNS.



FIRST FLOOR PLAN

1/16" = 1'-0"

| INSULATION LOCATION CHART | | |
|---------------------------|-------------------------------|---------------------|
| SIZE OF CONDITIONED AREA | HEIGHT BETWEEN CEILING & ROOF | INSULATION LOCATION |
| LESS THAN 2,000 S.F. | LESS THAN 12'-0" | @ ROOF |
| LESS THAN 2,000 S.F. | GREATER THAN 12'-0" | @ CEILING |
| GREATER THAN 2,000 S.F. | LESS THAN 12'-0" | @ ROOF** |
| GREATER THAN 2,000 S.F. | GREATER THAN 12'-0" | @ ROOF** |

* OR A FLOOR WITH UNCONDITIONED SPACE ABOVE
** OR FLOOR

| SQUARE FOOTAGE | |
|---------------------------------|-----------|
| Name | Area |
| SHELL - MANUFACTURING & STORAGE | 53,848 SF |
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| 01 FIRST FLOOR | 57,626 SF |
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