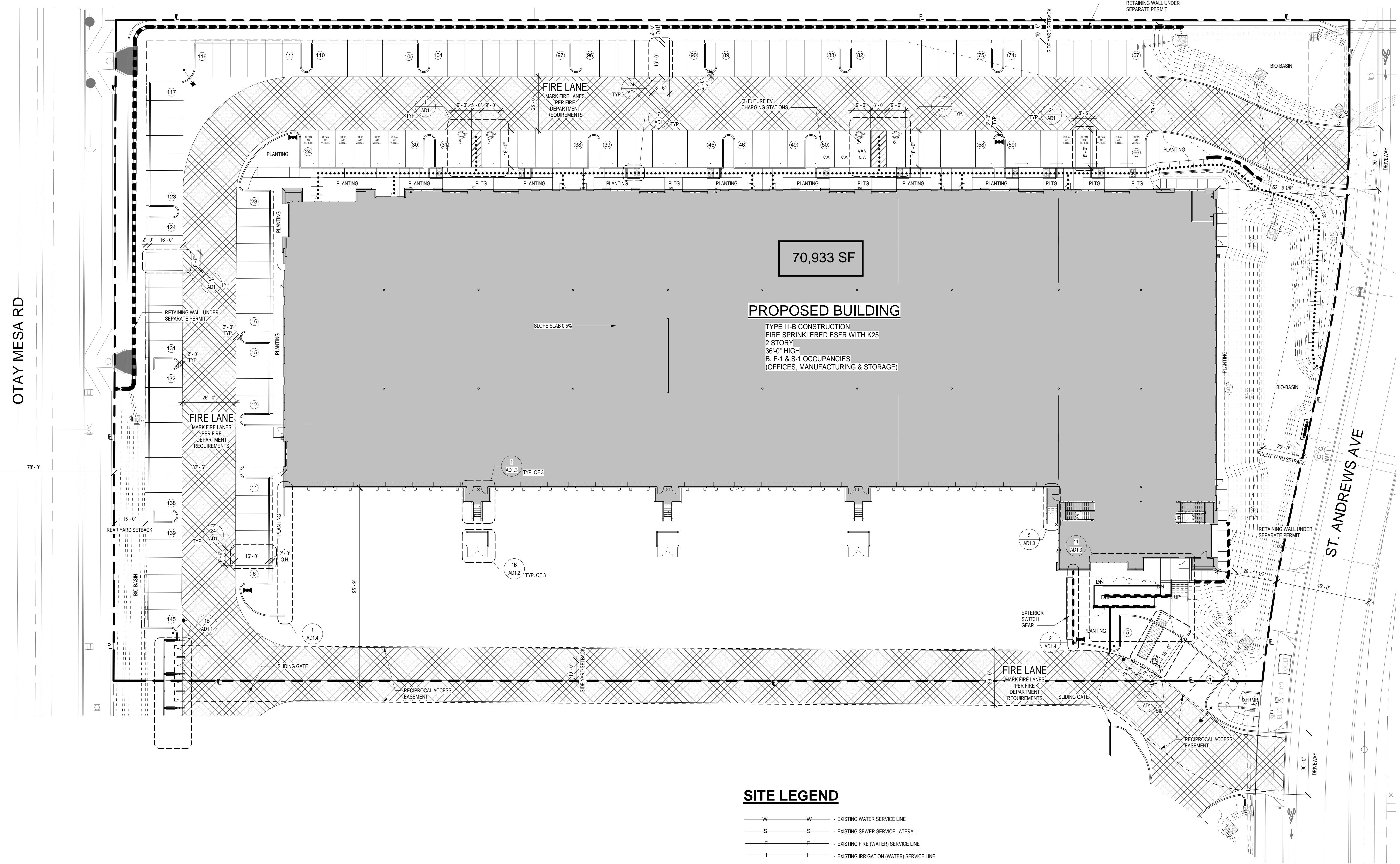


DATE: 8/21/18  
JOB NO: 16007  
DRAWN BY: ASM  
CHECKED BY: Checker

Revision Schedule	
#	Description

Project DESCRIPTION  
**LOT 2 SHELL**  
ST. ANDREWS AVE.

A1.1



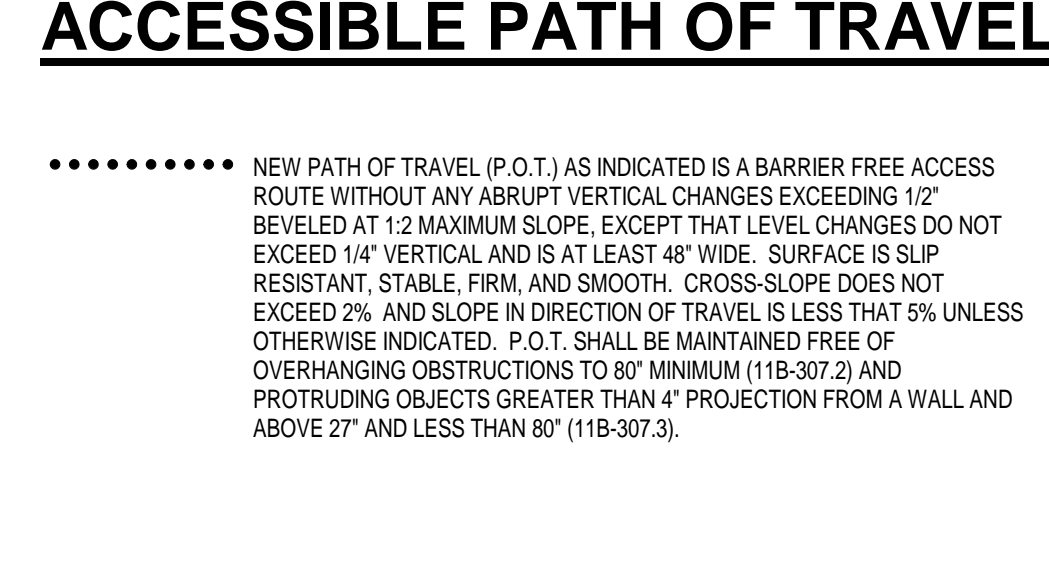
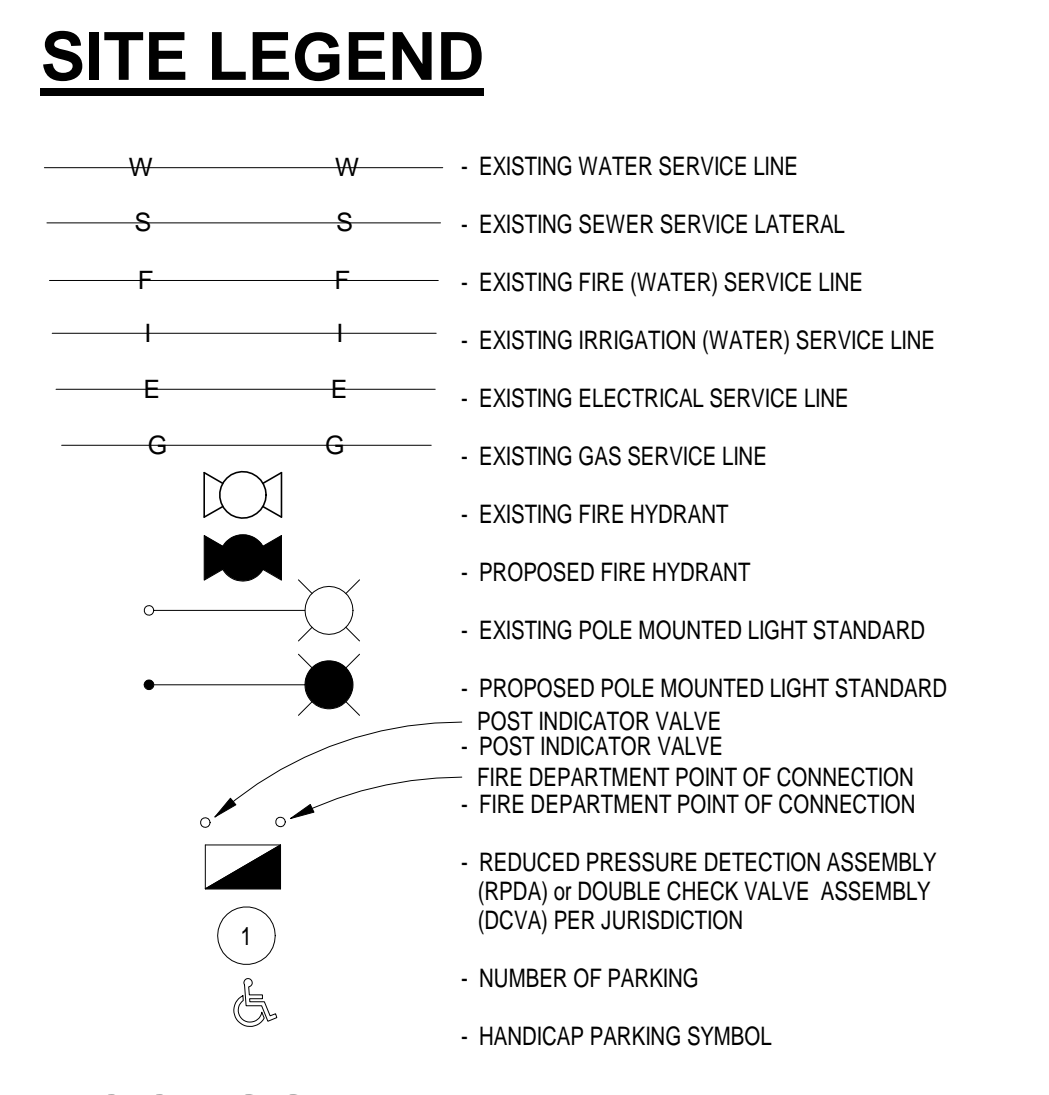
- ### NOTES
- YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
  - THIS PROJECT SHALL COMPLY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), THE 2016 CALIFORNIA ELECTRICAL CODE (CEC), THE 2013 CALIFORNIA MECHANICAL CODE (CMC), THE 2016 CALIFORNIA PLUMBING CODE (CPC), THE 2016 CALIFORNIA FIRE CODE (CFC), IN ADDITION TO ALL THEIR RESPECTIVE 2013 CALIFORNIA AMENDMENTS, AND THE CURRENT EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.
  - NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED IN THIS BUILDING IN EXCESS OF THE QUANTITIES LISTED IN CBC TABLES 307.1 (1) AND 307.1 (2).
  - ALL PROPERTY LINES, EASEMENTS, STREET AND EXISTING AND PROPOSED STRUCTURES ARE SHOWN ON THIS SITE PLAN.
  - A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
  - FIRE HYDRANTS ARE TO COMPLY WITH THE CITY'S ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON-SITE FIRE HYDRANTS.
  - ALL CURBING WHICH OUTLINES THE ACCESS ROADWAY SHALL BE PAINTED RED, WHITE, 4" HIGH LETTERING READING "NO PARKING - FIRE LANE" SHALL BE STENCILLED EVERY 30'-0" ON THE RED CURB. IF NO CURB IS PRESENT, AN 8" WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THIS 8" STRIPE SHALL BE MARKED WITH 4" HIGH WHITE LETTERING EXACTLY AS IF IT WERE A CURB.
  - BACKFLOW PROTECTION OF WATER CONNECTION TO FIRE PROTECTION SYSTEMS SHALL BE PROVIDED PER UPC, SECT. 603.5.15.
  - CONC. WALKWAYS SHALL BE INSTALLED PER 15 AD1

### PARKING TABULATION

REQUIRED PARKING:		
OFFICE S.F. / 1 SPACE PER 400 S.F.	=	# OF OFFICE SPACES
MANUFACTURING S.F. / 1 SPACE PER 400 S.F.	=	# OF MANUFACTURING SPACES
WAREHOUSE S.F. / 1 SPACE PER 1000 S.F.	=	# OF WAREHOUSE SPACES
17197 S.F. / 1 SPACE PER 400 S.F.	=	42.99 OFFICE SPACES
33610 S.F. / 1 SPACE PER 400 S.F.	=	84.03 MANUFACTURING SPACES
17981 S.F. / 1 SPACE PER 1000 S.F.	=	17.98 WAREHOUSE SPACES
<b>TOTAL PARKING SPACES REQUIRED</b>	=	<b>145 SPACES</b>
<b>PARKING PROVIDED:</b>		
129 STANDARD SPACES PROVIDED		
0 COMPACT SPACES PROVIDED		
1 VAN ACCESSIBLE SPACES PROVIDED		
4 ACCESSIBLE SPACES PROVIDED		
11 CLEAN AIR VEHICLE SPACES PROVIDED (8% OF AUTO SPACES MIN.)		
3 FUTURE E.V. CHARGING STATIONS		
<b>145 TOTAL AUTOMOBILE SPACES PROVIDED</b>		
2 SHORT TERM BICYCLE SPACES w/ PERMANENTLY ANCHORED RACKS (5% OF VISITOR AUTO SPACES MIN.)		
6 LONG TERM BICYCLE SPACE IN LOCKABLE, PERMANENTLY ANCHORED LOCKER (5% OF TENANT/EMPLOYEE AUTO SPACES MIN.)		
SHELL INDUSTRIAL BUILDING, ASSUMED 80% OF PARKING SPACES TO BE EMPLOYEE & 20% TO BE VISITOR		

### SITE INFORMATION

SITE AREA:	187,770 SF	4.31 ACRES
PROPOSED BUILDING COVERAGE:	68,788 SF	36.63%
PROPOSED LANDSCAPE AREA:	30,188 SF	16.08%
PROPOSED PAVING AREA:	88,794 SF	47.29%
TYPE OF DEVELOPMENT:	LIGHT INDUSTRIAL	



### LEGAL DESCRIPTION OWNER

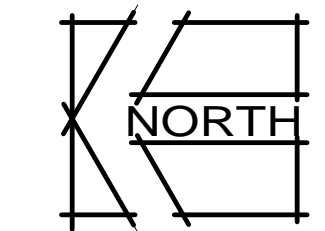
LOT 2  
ST. ANDREWS OTAY MESA CENTER  
MAP 16171  
CITY OF SAN DIEGO, CALIFORNIA

APN: 646-280-15-00  
ADDRESS: ST. ANDREWS AVE.  
USE: INDUSTRIAL  
ZONE: IL-3-1 LIGHT INDUSTRIAL

JC HAMANN FAMILY TRUST JTB  
SILVERHAWK  
1000 PIONEER WAY  
EL CAJON, CA 92020  
761513.444.7424  
Email: GREG@HAMANNCO.COM  
CONTACT: GREGG HAMANN

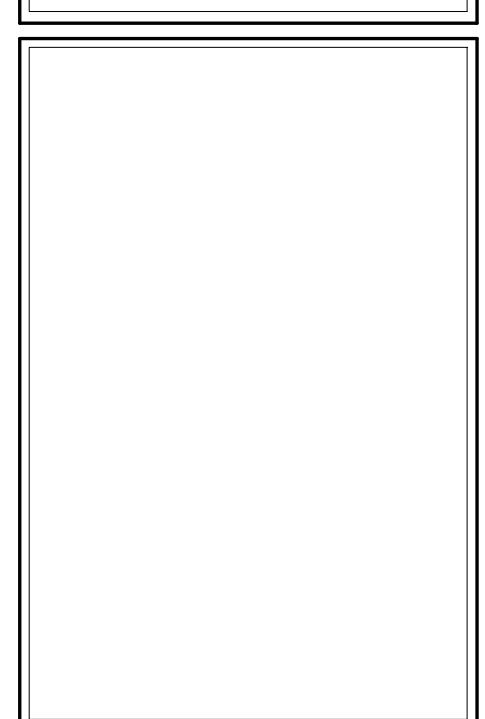
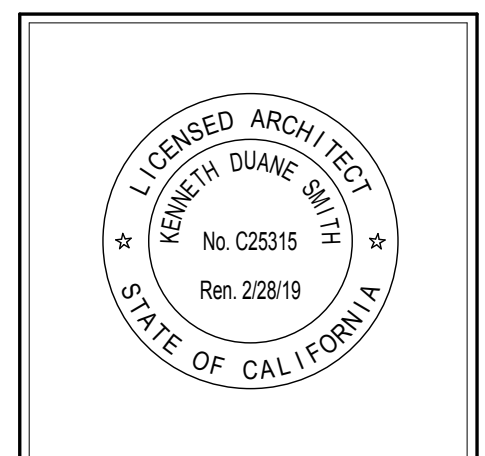
### SQUARE FOOTAGE

Name	Area
SHELL - MANUFACTURING & STORAGE	65,128 SF
SHELL - OFFICE	3,404 SF
01 FIRST FLOOR	68,530 SF
SHELL - OFFICE	2,403 SF
02 SECOND FLOOR	2,403 SF
Grand total	70,933 SF



# SITE PLAN

1" = 20'-0"



DATE: 8/21/18  
JOB NO: 16007  
DRAWN BY: Author  
CHECKED BY: Checker

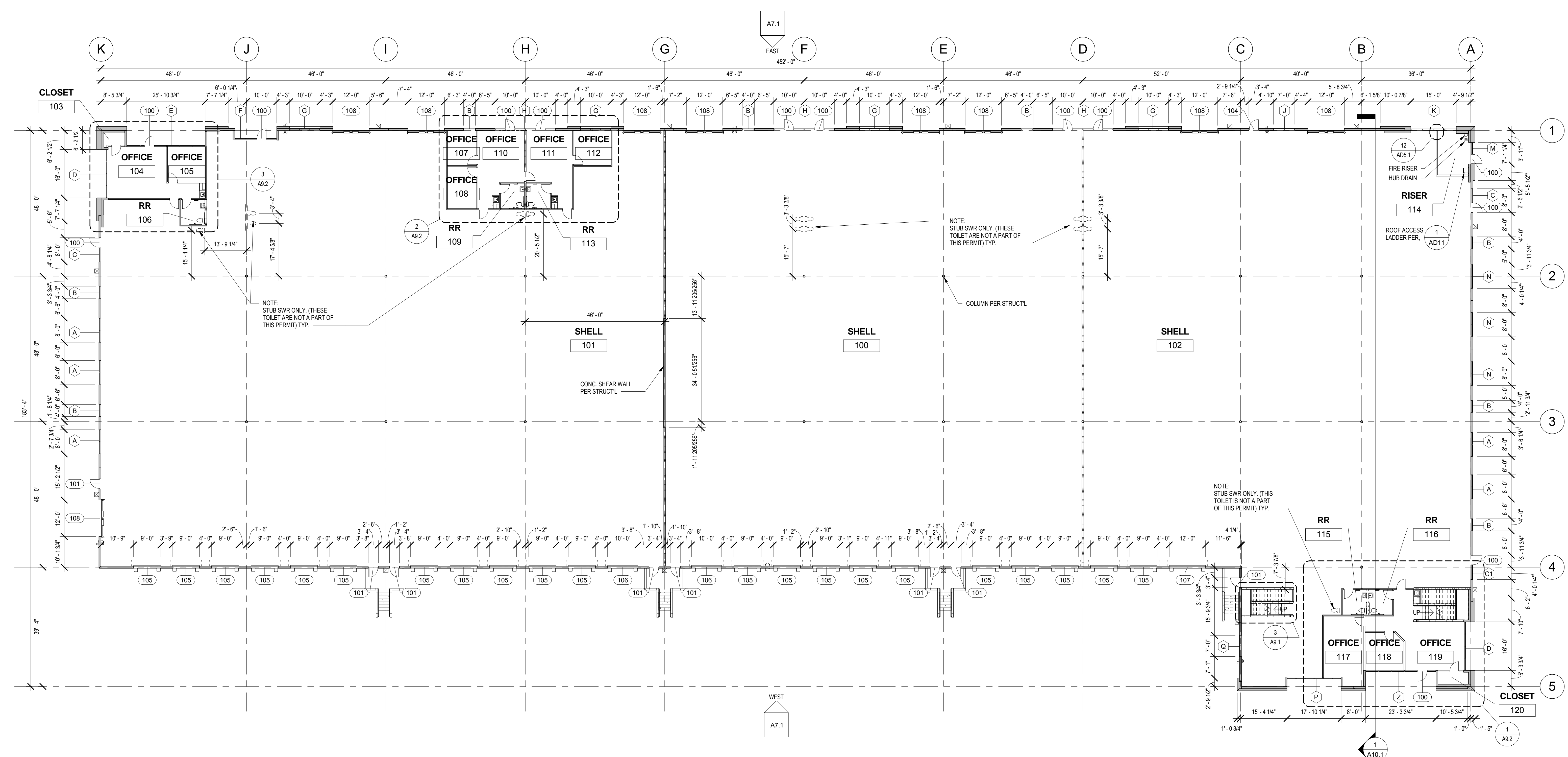
Revision Schedule

#	Date	Description
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#	Date	Description
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Project DESCRIPTION  
**LOT 2 SHELL**  
ST. ANDREWS AVE.

Project: A2.1



SIZE OF CONDITIONED AREA	HEIGHT BETWEEN CEILING & ROOF	INSULATION LOCATION
LESS THAN 2,000 S.F.	LESS THAN 12'-0"	@ ROOF
LESS THAN 2,000 S.F.	GREATER THAN 12'-0"	@ CEILING
GREATER THAN 2,000 S.F.	LESS THAN 12'-0"	@ ROOF**
GREATER THAN 2,000 S.F.	GREATER THAN 12'-0"	@ ROOF**

\* OR A FLOOR WITH UNCONDITIONED SPACE ABOVE  
\*\* OR FLOOR

Name	Area
SHELL - MANUFACTURING & STORAGE	65,126 SF
SHELL - OFFICE	3,404 SF
01 FIRST FLOOR	68,530 SF
SHELL - OFFICE	2,403 SF
02 SECOND FLOOR	2,403 SF
Grand total	70,933 SF

**SIGNAGE KEYNOTES:**

- 01 ACCESSIBILITY ENTRY SIGN. SEE DETAIL
  - 02 ACCESSIBLE EXIT SIGN. SEE DETAIL
  - 03 ACCESSIBLE STAIR SIGN. SEE DETAIL
  - 04 ACCESSIBLE RESTROOM ID SIGN. SEE DETAIL
  - 05 ACCESSIBLE RESTROOM DOOR SIGN. SEE DETAIL
  - 06 RECESSED KNOX BOX. LOCATION SHALL BE DETERMINED BY THE FIRE MARSHAL
  - 07 FLOOR DESIGNATION SIGN. SEE DETAIL
  - 08 NOT AN ACCESSIBLE EXIT SIGN. SEE DETAIL
  - 09 ACCESSIBLE ROOM ID SIGN PER FINISH SCHEDULE. SEE DETAIL (VERIFY ROOM NAMES w/ OWNER)
  - 10 ACCESSIBLE EXIT ROUTE SIGN. SEE DETAIL
- SEE ACCESSIBLE MOUNTING HEIGHTS
- SEE ENLARGED PLAN VIEWS FOR ADDITIONAL SIGNAGE LOCATIONS

**NOTES**

- SIGNS AND IDENTIFICATION**  
THE SIGNAGE REQUIREMENTS OF SECTION 11B-703 WILL BE SATISFIED.
- AUTOMATIC SPRINKLER SYSTEMS**  
AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE, OR SHALL BE PROVIDED WITH A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION (CBC, SECTION 903.4).
- INSULATION NOTES (ALSO SEE BUILDING SECTIONS)**
- BATT INSULATION SHALL BE FORMALDEHYDE-FREE BY JOHNS MANVILLE OR EQUAL.
  - PROVIDE INSULATION IN THE FOLLOWING WALLS:  
a. INTERIOR STUD WALLS BETWEEN CONDITIONED / UNCONDITIONED SPACES.  
b. ALL PERIMETER WALLS OF RESTROOM.  
c. ALL PERIMETER WALLS OF ELEVATOR SHAFT, (IF APPLICABLE).  
d. ALL PERIMETER WALLS OF ELEVATOR EQUIPMENT ROOM. (IF APPLICABLE).  
e. USE R-13 RATED BATTS AT 4" WALLS.  
f. USE R-19 RATED BATTS AT 6" WALLS.
  - INSTALL INSULATION ABOVE RESTROOM CEILING AT OFFICE AREA CONDITIONS.
  - CEILING/ROOF SPACES SHALL RECEIVE R-19 RATED BATTS.
  - INSTALL R-19 RATED INSULATION PER INSULATION LOCATION CHART. INSULATION IS NOT REQUIRED AT THE FLOOR IN A 2-STORY OFFICE AREA. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER SECTION 11B ENERGY EFFICIENCY STANDARDS.
- VAPOR BARRIER NOTE**  
PROVIDE "STEGO-WRAP" VAPOR BARRIER IN AREAS WHERE MOISTURE-SENSITIVE FLOOR COVERINGS ARE PLANNED (U.O.N. IN THESE PLANS).

**WALL LEGEND**

- CONCRETE TILT-UP PANELS w/ 1/2" PANEL GAPS
- 4" NOM. STUD WALL (3 5/8" METAL or 2x4 WOOD) SEE NOTES BELOW
- 4" NOM. STUD WALL w/ R-13 INSULATION BATTS
- 1-HOUR 4" NOM. STUD WALL (3 5/8" METAL or 2x4 WOOD)
- 6" NOM. STUD WALL (6" METAL or 2x6 WOOD) SEE NOTES BELOW
- 6" NOM. STUD WALL w/ R-19 INSULATION BATTS
- 1-HOUR 6" NOM. STUD WALL (6" METAL or 2x6 WOOD)
- 8" NOM. STUD WALL (8" METAL or 2x8 WOOD) SEE NOTES BELOW
- 6" NOM. STUD WALL w/ R-19 INSULATION BATTS

**NOTES:**

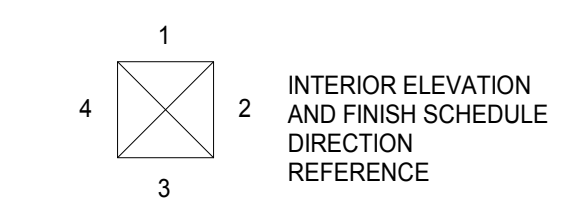
- ALL NON STRUCTURAL WALLS SHALL BE METAL STUDS PER DETAILS REFERENCED, U.O.N.
- DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE STRUCTURAL FOUNDATION PLAN FOR LOCATIONS OF ANY STRUCTURAL WALLS.
- IF THE ALLOWABLE WALL HEIGHT TABLE REQUIRES A LARGER STUD SECTION, THE TABLE SHALL GOVERN.
- FOR STANDARD HEADER FRAMING, SEE DETAIL
- FOR WALL PENETRATIONS AT RATED WALLS (WHERE OCCURS), SEE DETAIL

**EXIT SIGNS:**

SEE EXIT PLAN FOR LOCATION OF EXIT SIGNS.

**WALL NOTE:**

SEE THE REFLECTED CEILING PLAN FOR ALL REFERENCES TO WALL SECTIONS



**FIRST FLOOR PLAN**

1/16" = 1'-0"