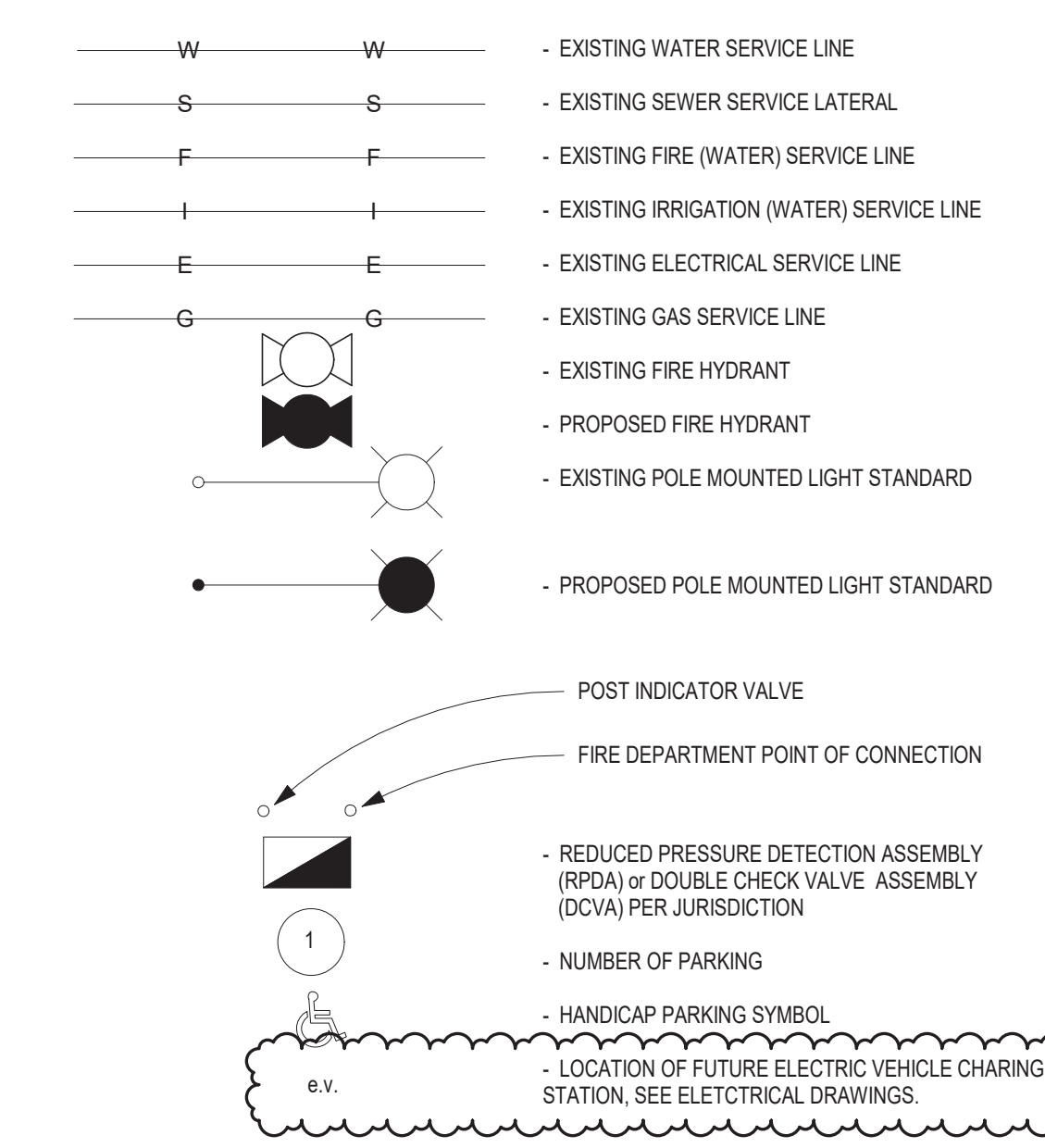


SITE LEGEND



ACCESSIBLE PATH OF TRAVEL

NEW PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 8" MINIMUM (15'-0" TO 21'-0") AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM A WALL AND ABOVE 27" AND LESS THAN 80" (15'-0" TO 30'-0").

LEGAL DESCRIPTION

LOT 3
ST. ANDREWS OTAY MESA CENTER
MAP 16171
CITY OF SAN DIEGO, CALIFORNIA
APN: 646-280-16
ADDRESS: 8055 ST. ANDREW AVE.
USE: WAREHOUSE
ZONE: IL-3-1

SITE INFORMATION

SITE AREA:	100,000 SF	2.30 ACRES
PROPOSED BUILDING COVERAGE:	29,990 SF	29.99 %
PROPOSED LANDSCAPE AREA:	15,155 SF	15.16 %
PROPOSED PAVING AREA:	54,855 SF	54.85 %

TYPE OF DEVELOPMENT: LIGHT INDUSTRIAL

OWNER

JC HAMANN FAMILY TRUST
GREGG HAMANN FAMILY TRUST
JIB SILVERHAWK
1000 PIONEER WAY
EL CAJON, CA 92020
Tel: 619 444 7424
Email: GREGG@HAMANNCO.COM
CONTACT: GREGG HAMANN

NOTES

- YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
- THIS PROJECT SHALL COMPLY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), THE 2016 CALIFORNIA ELECTRICAL CODE (CEC), THE 2013 CALIFORNIA MECHANICAL CODE (CMC), THE 2016 CALIFORNIA PLUMBING CODE (CPC), THE 2016 CALIFORNIA FIRE CODE (CFC), IN ADDITION TO ALL THEIR RESPECTIVE 2015 CALIFORNIA AMENDMENTS, AND THE CURRENT EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.
- NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED IN THIS BUILDING IN EXCESS OF THE QUANTITIES LISTED IN CBC TABLES 307.1 (1) AND 307.1 (2).
- ALL PROPERTY LINES, EASEMENTS, STREET AND EXISTING AND PROPOSED STRUCTURES ARE SHOWN ON THIS SITE PLAN.
- A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
- FIRE HYDRANTS ARE TO COMPLY WITH THE CITY'S ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON-SITE FIRE HYDRANTS.
- ALL CURBING WHICH OUTLINES THE ACCESS ROADWAY SHALL BE PAINTED RED, WHITE, 4" HIGH LETTERING READING "NO PARKING - FIRE LANE" SHALL BE STENCILED EVERY 30'-0" ON THE RED CURB. IF NO CURB IS PRESENT, AN 8" WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THIS 8" STRIPE SHALL BE MARKED WITH 4" HIGH WHITE LETTERING EXACTLY AS IF IT WERE A CURB.
- BACKFLOW PROTECTION OF WATER CONNECTION TO FIRE PROTECTION SYSTEMS SHALL BE PROVIDED PER UPC, SECT. 603.5.15.

NOTE: THIS BUILDING IS LOCATED IN A HIGH FIRE SEVERITY ZONE. THE MATERIALS AND METHODS OF CONSTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY STRUCTURES, SHALL BE IN ACCORDANCE WITH CHAPTER 7A, AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO.

PARKING TABULATION

REQUIRED PARKING:
OFFICE S.F. / 1 SPACE PER 400 S.F. = # OF OFFICE SPACES
MANUFACTURING S.F. / 1 SPACE PER 400 S.F. = # OF MANUFACTURING SPACES
WAREHOUSE S.F. / 1 SPACE PER 1000 S.F. = # OF WAREHOUSE SPACES

8343 S.F. / 1 SPACE PER 400 S.F.	=	20.86 OFFICE SPACES
16687 S.F. / 1 SPACE PER 400 S.F.	=	41.72 MANUFACTURING SPACES
8343 S.F. / 1 SPACE PER 1000 S.F.	=	8.34 WAREHOUSE SPACES

TOTAL PARKING SPACES REQUIRED = 71 SPACES

PARKING PROVIDED:

70 STANDARD SPACES PROVIDED
0 COMPACT SPACES PROVIDED
1 VAN ACCESSIBLE SPACES PROVIDED
3 ACCESSIBLE SPACES PROVIDED
7 CLEAN AIR VEHICLE SPACES PROVIDED (8% OF AUTO SPACES MIN.)
2 FUTURE E.V. CHARGING STATIONS

81 TOTAL AUTOMOBILE SPACES PROVIDED

1 SHORT TERM BICYCLE SPACES w/ PERMANENTLY ANCHORED RACKS (5% OF VISITOR AUTO SPACES MIN.)
4 LONG TERM BICYCLE SPACE IN LOCKABLE, PERMANENTLY ANCHORED LOCKER (5% OF TENANT/EMPLOYEE AUTO SPACES MIN.)

SHELL INDUSTRIAL BUILDING, ASSUMED 80% OF PARKING SPACES TO BE EMPLOYEE & 20% TO BE VISITOR

CONDITIONS OF APPROVAL FOR SUBDIVISION:
32) ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED AND IN ACCORDANCE WITH THE APPLICABLE REGULATIONS IN THE 'SDMC'.
39) NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.

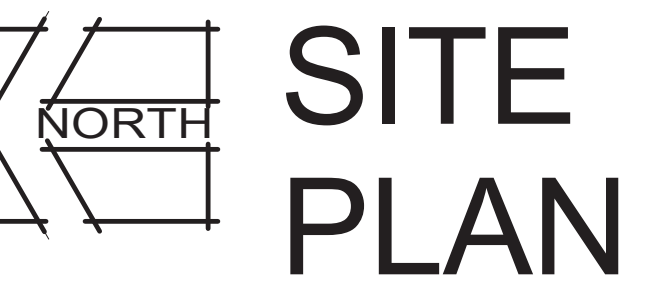
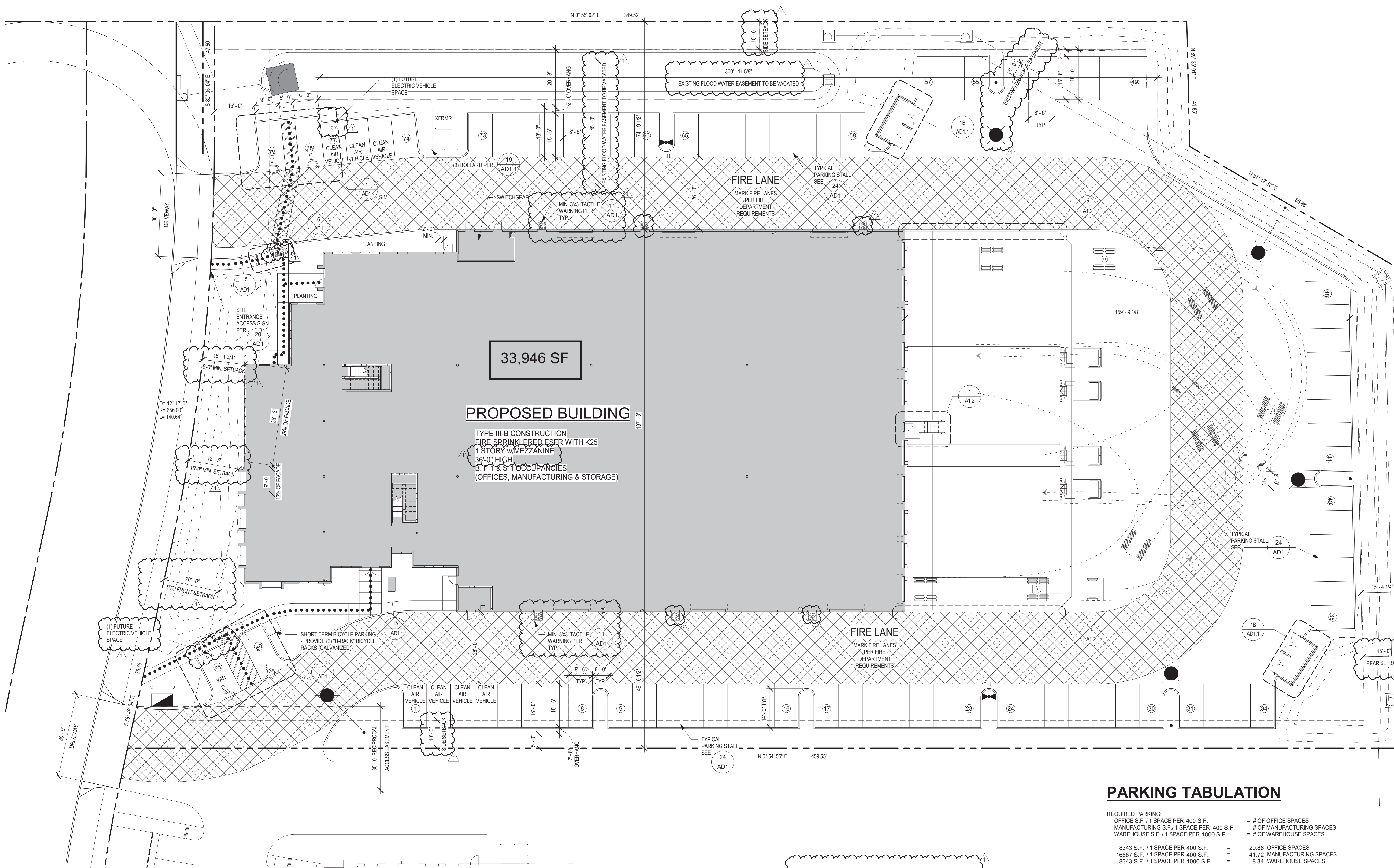
NOTE: AN AVIGATION EASEMENT HAS BEEN RECORDED ACROSS SHOWN PROPERTY ON MAP NO. 16171 DATED 2/19/2016.

SQUARE FOOTAGE

Name	Area
SHELL MANUFACTURING & STORAGE	25,984 SF
SHELL OFFICE	4,118 SF
TRASH ENCLOSURE	225 SF
01 FIRST FLOOR	30,327 SF
MEZZANINE-SHELL OFFICE	3,619 SF
02 MEZZANINE	3,619 SF
Grand total	33,946 SF

NOTE: AT HAZARDOUS VEHICULAR AREAS, DETECTABLE WARNING SURFACES SHALL BE YELLOW CONFORMING TO FS 35538 OF FEDERAL STANDARD 5959C. (CBC 11B-705.1.1.3)
NOTE: AT LOCATIONS OTHER THAN VEHICULAR HAZARDOUS AREAS, DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE SURFACE. (CBC 11B-705.1.1.3)
NOTE: ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 1, CHAPTER 5, ARTICLE 2, 3 AND 4. (CBC 11B-705.3)

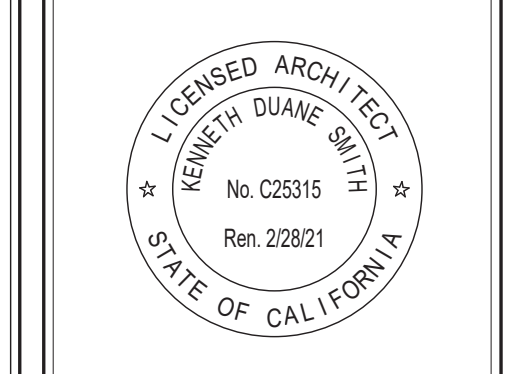
NOTE: WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IF LOCATED WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT WITHIN THE 65 CNEL OR L DN CONTOUR OF A FREEWAY OR EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN. (SECTION 5.507.4.1. CGBSC).



1/16" = 1'-0"

NEW SHELL BUILDING FOR
 LOT 3
 8055 ST. ANDREWS AVE.
 project:

A1.1



NOT FOR CONSTRUCTION

DATE: 3/14/2018
JOB NO: 16093
DRAWN BY: ASM
CHECKED BY: ASM

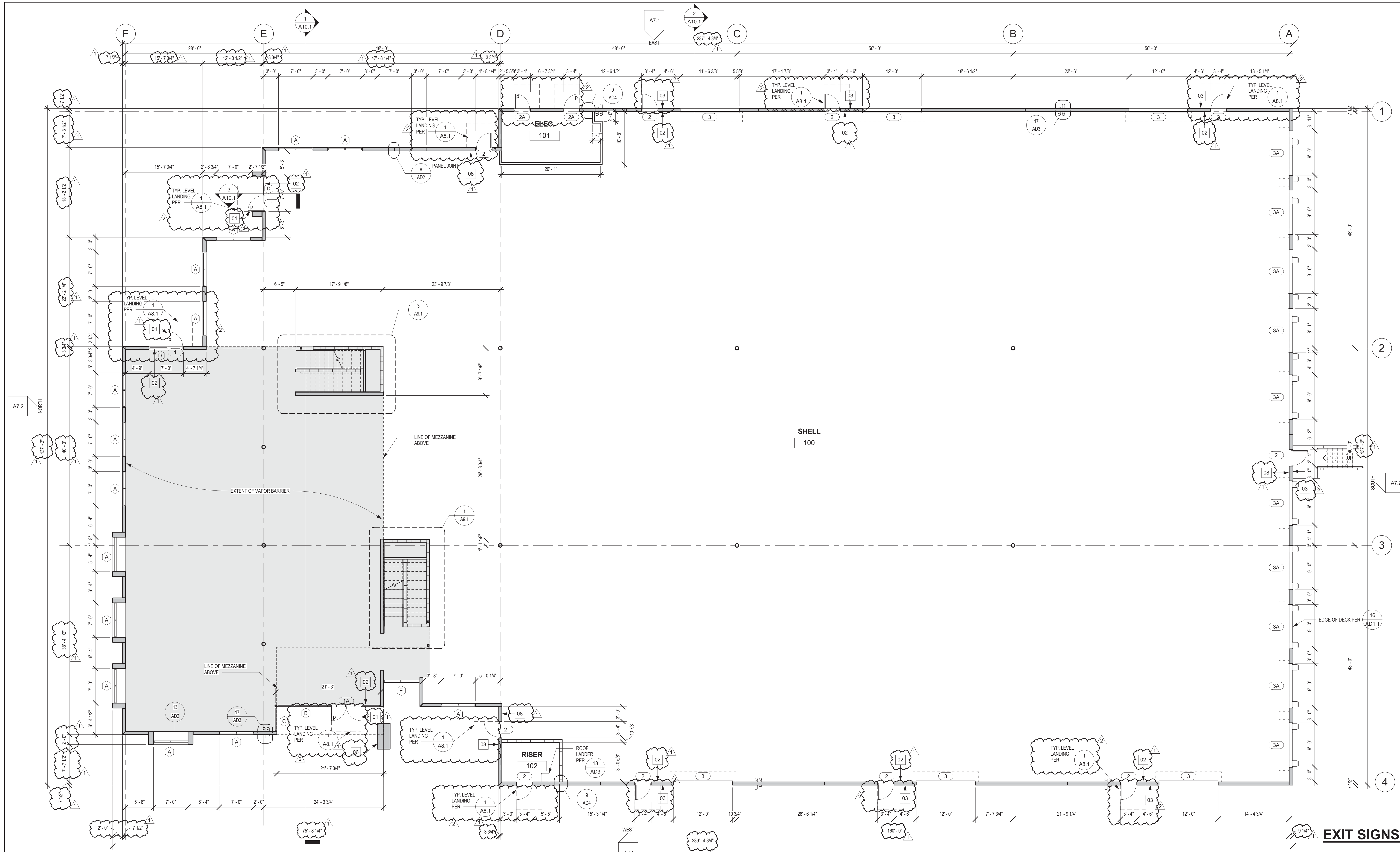
#	Date	Description
1	11/20/18	CITY COMMENTS
2	11/20/18	CITY COMMENTS

Revision Set

NEW SHELL BUILDING FOR
LOT 3
8055 ST. ANDREWS AVE.

project: A2.1

A2.1



SIGNAGE KEYNOTES:

- 01 ACCESSIBILITY ENTRY SIGN SEE DETAIL (17 AD4)
- 02 ACCESSIBILITY EXIT SIGN SEE DETAIL (18A AD4)
- 03 NOT AN ENTRANCE SIGN SEE DETAIL (18F AD4)
- 04 NOT USED
- 05 NOT USED
- 06 RECESSED KNOX BOX LOCATION SHALL BE DETERMINED BY THE FIRE MARSHAL
- 07 NOT USED
- 08 NOT AN ACCESSIBILITY EXIT SIGN SEE DETAIL (18D AD4)
- 09 NOT USED
- 10 ACCESSIBILITY EXIT ROUTE SIGN SEE DETAIL (18B AD4)

SEE ACCESSIBLE MOUNTING HEIGHTS (20 AD4)

SEE ENLARGED PLAN VIEWS FOR ADDITIONAL SIGNAGE LOCATIONS

NOTE: THE BUILDING SHALL NOT BE OCCUPIED UNTIL RESTROOMS COMPLYING WITH THE CALIFORNIA PLUMBING CODE AND HEATING AND VENTILATION SYSTEMS COMPLYING WITH THE CALIFORNIA MECHANICAL CODE AND CALIFORNIA BUILDING CODE HAVE BEEN PERMITTED AND PROVIDED IN A FUTURE TENANT IMPROVEMENT.

SQUARE FOOTAGE

Name	Area
SHELL MANUFACTURING & STORAGE	25,984 SF
SHELL OFFICE	4,118 SF
TRASH ENCLOSURE	225 SF
01 FIRST FLOOR	30,327 SF
MEZZANINE-SHELL OFFICE	3,619 SF
02 MEZZANINE	3,619 SF
Grand Total	33,846 SF

- NOTES:**
- ALL NON STRUCTURAL WALLS SHALL BE METAL STUDS PER DETAILS REFERENCED. U.O.N.
 - DIMENSIONS ARE TO FACE OF STUD, U.O.N.
 - SEE STRUCTURAL FOUNDATION PLAN FOR LOCATIONS OF ANY STRUCTURAL WALLS.
 - IF THE ALLOWABLE WALL HEIGHT TABLE REQUIRES A LARGER STUD SECTION, THE TABLE SHALL GOVERN.
 - FOR STANDARD HEADER FRAMING, SEE DETAIL (15 AD5)
 - FOR WALL PENETRATIONS AT RATED WALLS (WHERE OCCURS), SEE DETAIL (13 AD4)
 - THE CLEAR FLOOR SPACE AT FIXTURES AND CONTROLS, THE ACCESSIBLE ROUTE AND THE TURNING SPACE MAY OVERLAP. FOR ACCESSIBLE REACH RAGES, SEE DETAIL (14 AD5)

NOTE: BUILDING SHALL NOT BE OCCUPIED UNTIL A TENANT IMPROVEMENT HAS BEEN OBTAINED AND APPROVED.

- WALL LEGEND**
- CONCRETE TILT-UP PANELS W/ 1/2" PANEL GAPS
 - 4" NOM. STUD WALL (3/8" METAL or 2x4 WOOD) SEE NOTES BELOW
 - 4" NOM. STUD WALL w/ R-13 INSULATION BATTS
 - 1-HOUR 4" NOM. STUD WALL (3/8" METAL or 2x4 WOOD)
 - 6" NOM. STUD WALL (6" METAL or 2x6 WOOD) SEE NOTES BELOW
 - 6" NOM. STUD WALL w/ R-19 INSULATION BATTS
 - 1-HOUR 6" NOM. STUD WALL (6" METAL or 2x6 WOOD)
 - 8" NOM. STUD WALL (8" METAL or 2x8 WOOD) SEE NOTES BELOW
 - 8" NOM. STUD WALL w/ R-19 INSULATION BATTS

- NOTES**
- SIGNS AND IDENTIFICATION**
- THE SIGNAGE REQUIREMENTS OF SECTION 118-703 WILL BE SATISFIED.
- AUTOMATIC SPRINKLER SYSTEMS**
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE, OR SHALL BE PROVIDED WITH A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION (CBC, SECTION 903.4).
- INSULATION NOTES (ALSO SEE BUILDING SECTIONS)**
- BATT INSULATION SHALL BE FORMALDEHYDE-FREE BY JOHNS MANVILLE OR EQUAL.
 - PROVIDE INSULATION IN THE FOLLOWING WALLS:
 - INTERIOR STUD WALLS BETWEEN CONDITIONED UNCONDITIONED SPACES.
 - ALL PERIMETER WALLS OF RESTROOM.
 - ALL PERIMETER WALLS OF ELEVATOR SHAFT (IF APPLICABLE).
 - ALL PERIMETER WALLS OF ELEVATOR EQUIPMENT ROOM (IF APPLICABLE).
 - USE R-13 RATED BATTS AT 4" WALLS.
 - USE R-19 RATED BATTS AT 6" WALLS.
 - INSTALL INSULATION ABOVE RESTROOM CEILINGS AT OFFICE AREA CONDITIONS.
 - CEILINGROOF SPACES SHALL RECEIVE R-19 RATED BATTS.
 - INSTALL R-19 RATED INSULATION PER INSULATION LOCATION CHART.
 - INSULATION IS NOT REQUIRED AT THE FLOOR IN A 2-STORY OFFICE AREA. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER SECTION 118 ENERGY EFFICIENCY STANDARDS.
- VAPOR BARRIER NOTE**
- PROVIDE "STEGO-WRAP" VAPOR BARRIER IN AREAS WHERE MOISTURE-SENSITIVE FLOOR COVERINGS ARE PLANNED (U.O.N. IN THESE PLANS).

WALL NOTE:

SEE THE REFLECTED CEILING PLAN FOR ALL REFERENCES TO WALL SECTIONS

EXIT SIGNS:

SEE EXIT PLAN FOR LOCATION OF EXIT SIGNS.

FIRST FLOOR PLAN

1/8" = 1'-0"